

# City of Austin

## Quick Turn Around Permit Process

### AIA Austin

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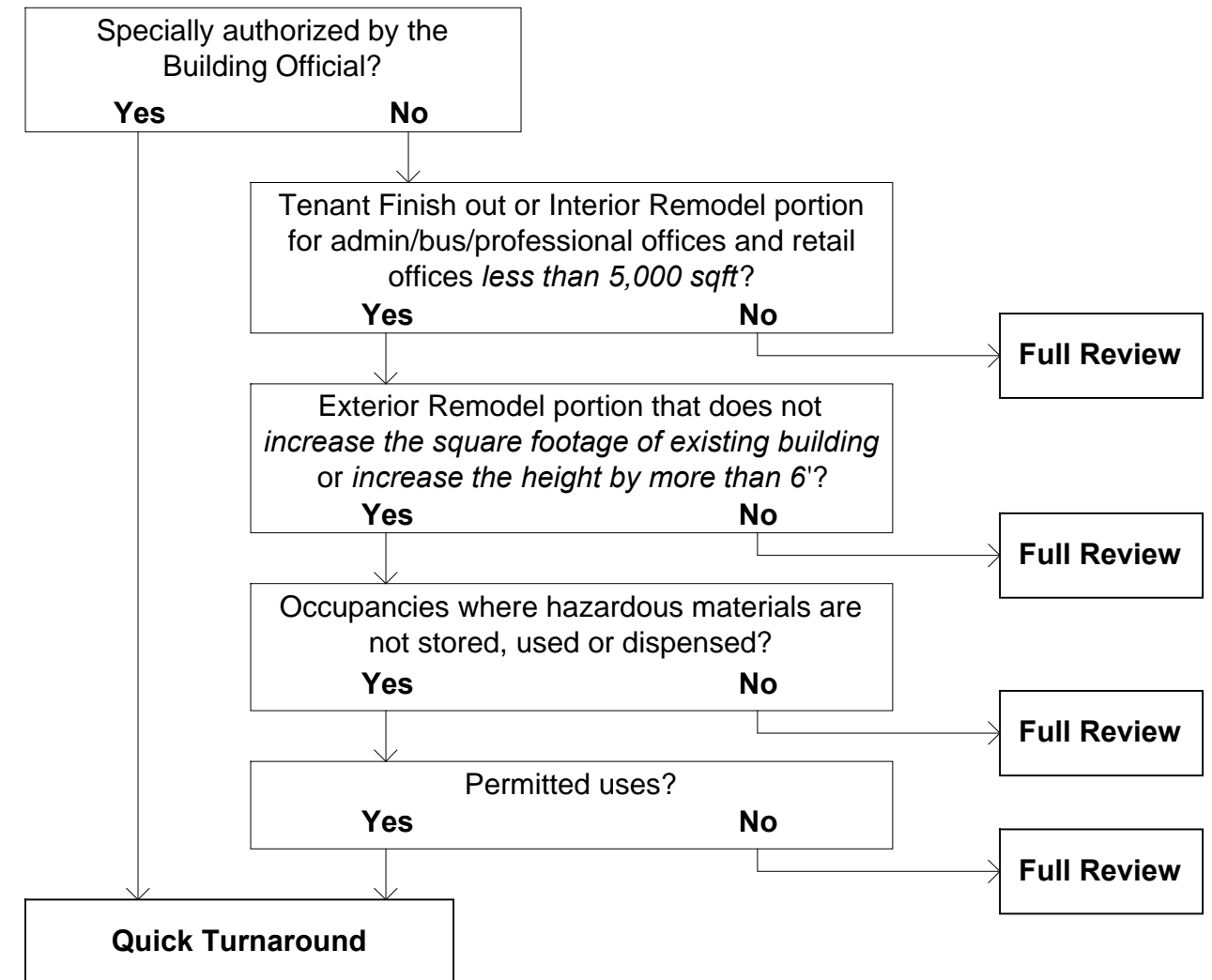
# Quick Turn Around Permit Process

## Required Prior to Submittal

<b>Asbestos Survey</b>	→	4 week lead
<b>Site Plan Exemption</b>	→	2 week lead
<b>Austin Water Utility (meter)</b>	→	2 week lead
<b>Tap Receipts</b>	→	2 week lead
<b>Tax Certificate</b>	→	2 day lead
<b>Austin Energy (ESPA)</b>	→	2 day lead
<b>Texas Accessibility Standards</b> TDLR Confirmation page Submit drawings	→	Due at time of submittal
<b>Comcheck</b>	→	Due at time of submittal
<b>TDH Demolition/Notification form</b>	→	Due at time of submittal
<b>(2) sets of Architectural, Structural, and M.E.P. drawings to scale</b>	→	Due at time of submittal
<b>NOTE: All times are just an estimate. Actual lead times will vary greatly.</b>		
<b>COA Quick Turn-around hours</b>	→	Mon-Thurs, 8:00-11:00 am

## Flow Chart

Does your project qualify for Quick Turnaround?



**NOTE: Revisions to permits issued through this process may result in rescinding all permits and a full submittal required. Refunds will not be issued. Verify all proposed work before going through the Quick Turnaround process.**

# Quick Turn Around Checklist

## Project Info

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Project Info  
Sheet Index  
Applicable Codes  
Plumbing Requirements  
Site Data  
Address  
Zoning  
Land Use  
FEMA Floodplain (yes/no)  
Building Use & Area  
Number of Stories / Use per Floor  
Use  
Area  
Sprinkler (yes/no)  
Construction Type  
Code Analysis  
IEBC  
Alteration Level & Chapter  
IBC  
Chapter 3 - Classification  
Chapter 5 - General Building Heights & Area  
Chapter 6 - Types of Construction  
Chapter 8 - Interior Finishes  
Chapter 9 - Fire Protection Systems  
Chapter 10 - Means of Egress  
Chapter 11 - 1101.1  
TAS  
Titleblock  
Submission Date

## Site Plan

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**Site Plan**  
Site Plan  
Key Plan  
HC Parking & Accessible Route  
Clearly indicate proposed scope vs not in scope  
General Sheet Notes  
Site Plan # or Site Plan Exemption #  
Parking Calculations  
North arrow  
Drawing titles/scale  
Titleblock  
Submission date

## Occupancy & Exiting Diagrams

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**Occupancy & Exiting Diagrams**  
Clearly indicate proposed scope vs not in scope  
Label each room/space/area.  
Graphically indicated each occupancy area with corresponding legend. Be sure to call out each occupancy type and associated occupant load factor.  
Show occupancy calculations for each area  
Show math producing total occupant load  
Show exiting path, egress travel distance, common path of travel, etc.  
Show diagonal distance of fire area.  
Show egress to egress > 1/2 diagonal distance.  
Clearly/graphically indicate all exiting doors.  
Show exit loads, minimum required exit width, and exit width provided.  
General Sheet Notes  
North arrow  
Drawing titles/scale  
Titleblock  
Submission date

## Floor Plan(s)

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**Floor Plan(s)**  
Clearly indicate proposed scope vs not in scope  
Clearly indicate proposed scope vs existing to remain  
Label Room Names & Numbers  
Dashed lines of ADA/TAS required clearances  
Notes and dimensions placed  
Doors/windows labeled or otherwise called out  
Wall types identified  
Wall assemblies details w/ corresponding UL#  
Reference tags (elevations, sections, etc.) placed and coordinated  
North arrow  
Drawing titles/scale  
Titleblock  
Submission date

## RCP(s)

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**RCP(s)**  
Clearly indicate proposed scope vs not in scope  
Clearly indicate proposed scope vs existing to remain  
Legend for fixture types  
Indicate life safety / emergency equipment (e.g., occupancy sensors, exit signs, etc.)  
General Sheet Notes  
North arrow  
Drawing titles/scale  
Titleblock  
Submission date

## Exterior Elevation(s)

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**Exterior Elevation(s)**  
Clearly indicate proposed scope vs not in scope  
Clearly indicate proposed scope vs existing to remain  
Call out important target elevations  
General Sheet Notes  
Drawing titles/scale  
Titleblock  
Submission date

# Project Information

## Site Data

Address: 123 Park Street  
 Zoning: CS  
 Land Use: Office  
 FEMA Floodplain: None Listed

## Building Use and Areas

	Use	Area	Sprinkler
No. of Stories	1 Stories B	1,225 sf	No
Construction Type	V-B		
Use per Floor	Main Floor M	1,225 sf	No
<b>Total Building Area</b>		<b>1,225 sf</b>	

# Sheet Index

<b>A0.0</b>	Project Info.
A0.1	Site Plan
A1.0	Code Plan
A1.1	Floor Plan
A1.2	RCP
A2.0	Elevations
<b>S0.0</b>	Structural
<b>M0.0</b>	Mechanical
<b>E0.0</b>	Electrical
<b>P0.0</b>	Plumbing

# Applicable Codes

2012 International Existing Building Code with COA Amendments  
 2012 International Building Code  
 2012 International Energy Conservation Code  
 2012 International Fire Code  
 2012 Uniform Plumbing Code  
 2012 Uniform Mechanical Code  
 2012 National Electrical Code

# Plumbing Requirements

\*\*Fixture counts determined per 2012 Uniform Plumbing Code Table 422.1

Total Occupant Load = 8  
 Men: 8 / 2 = 4  
 Women: 8 / 2 = 4

# Code Analysis

## IEBC

### Chapter 5 - Alteration Level

Classification of work: 2

## IBC

### Chapter 3 - Classification

304 - Business Group B

### Chapter 5 - General Building Heights and Areas

Table 508.4

	Occupancy	Auto Sprinkler	Rated Separation
Ground Floor	B to B	No	N/A

### Chapter 6 - Types of Construction

Table 601 - fire resistance rating for building elements

	Structural Frame	Bearing Walls	Nonbearing Walls	Floor Const.	Roof Const.
V-B	0	0	0	0	0

\* An approved automatic fire sprinkler system in accordance with Section 903.3.1.1 shall be allowed to be substituted for 1-hour fire-resistance-rated construction, provided such system is not otherwise required by other provisions of the code or used for an allowable area increase in accordance with Section 506.3 or an allowable height increase in accordance with Section 504.2.

### Chapter 8 - Interior Finishes

Table 803.9 - interior wall and ceiling finish requirements per occupancy

	Exit Enclosure	Corridors	Rooms and Enclosed Spaces
B	A	B	C

### Chapter 9 - Fire Protection Systems

Automatic Fire Sprinkler System not required.

### Chapter 10 - Means of Egress

Table 1004.1.1 - maximum floor area allowances per occupant

See Occupant Load Calculation

Table 1005.1 - egress width per occupant served (inches per occupant)

All Occupancies Stairways: 0.3 Other Egress Components: 0.2 Exception: -

Table 1008.1.1 - size of doors

Minimum Door Width: 32" Provided: 36"

Table 1016.2 - exit access travel distance

Occupancy	Allowance	Provided
B	200 feet (without Automatic Sprinkler System)	90 feet
1018.2 - corridor width	Minimum 44 inches	-
1018.4 - dead ends	No dead ends in corridors over 20 feet in length	-
1014.3 - common path of travel	100' maximum (without automatic sprinkler system)	20 feet

Table 1021 - number of exits

Provided first story has a a maximum of 49 occupants: Required: 1 Provided: 2

### Chapter 11 - Accessibility

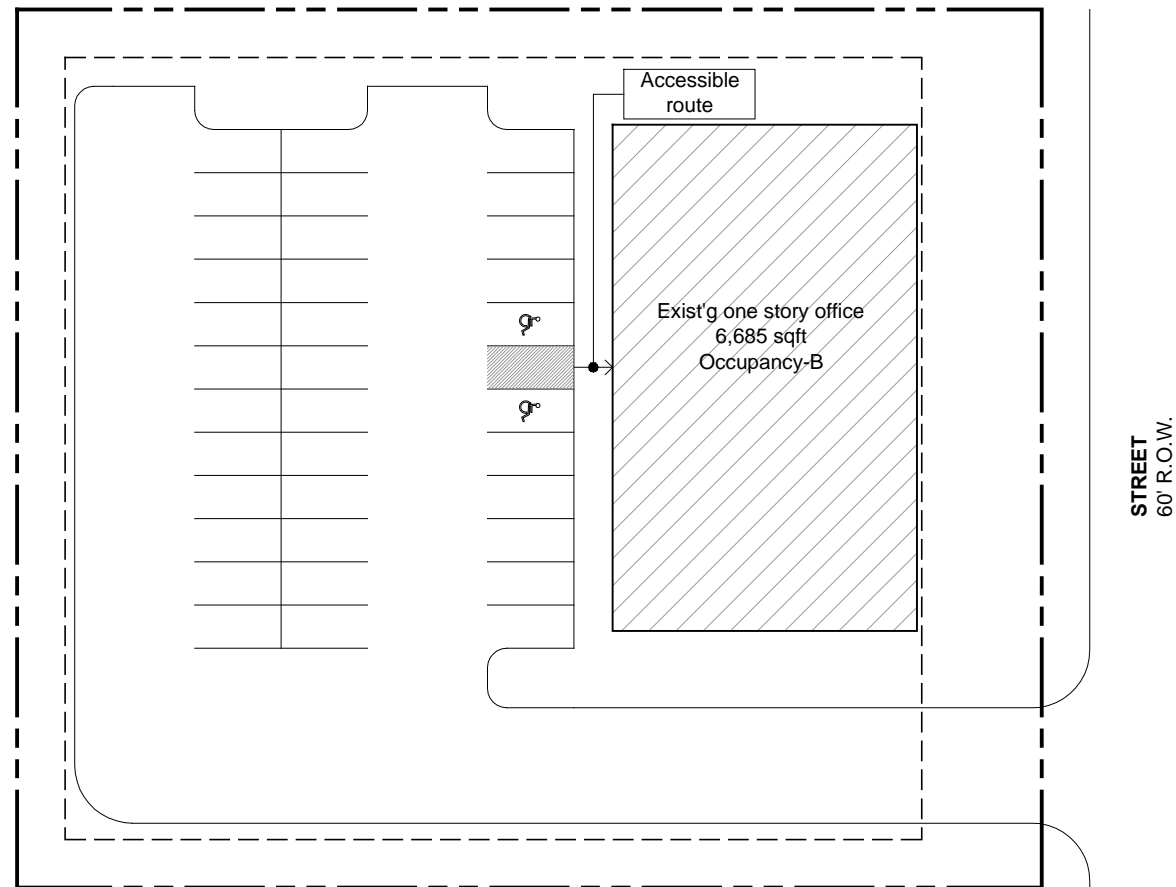
**1101.1 State law.** Accessibility issues for certain publicly and privately owned buildings and facilities are governed by state law and regulations, including Chapter 469 of the Texas Government Code and various regulations, standards and specifications issued thereunder.

**General Notes**

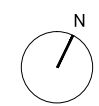
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**TAS Notes**

1. Justo augue in scelerisque nec vestibulum, quibusdam minima nullam facilisi a neque magna, felis proident integer lorem, arcu augue praesent quam urna erat.
2. Ultricies class accumsan porttitor.
3. Tincidunt aliquam a class vel pharetra, diam venenatis ullamcorper mauris est nonummy, placerat elit euismod orci eget odio, eu facilisi ut sit.



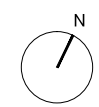
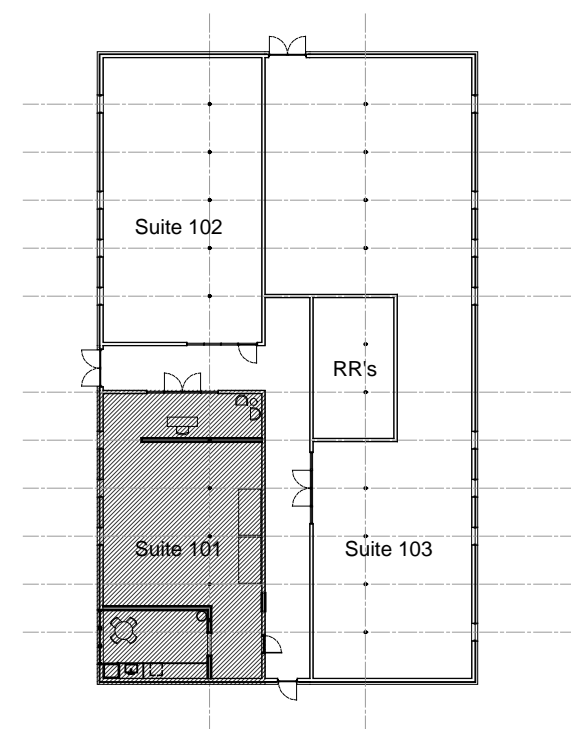
Site Plan # or Site Plan Exemption #



**2 Site Plan**  
Scale: xxx

Parking Calculations		
Space	Ratio	Size
Office	1:275	6,685 sqft
Required Parking:		24
Actual Parking Provided:		36

Legend	
	Current Project Scope

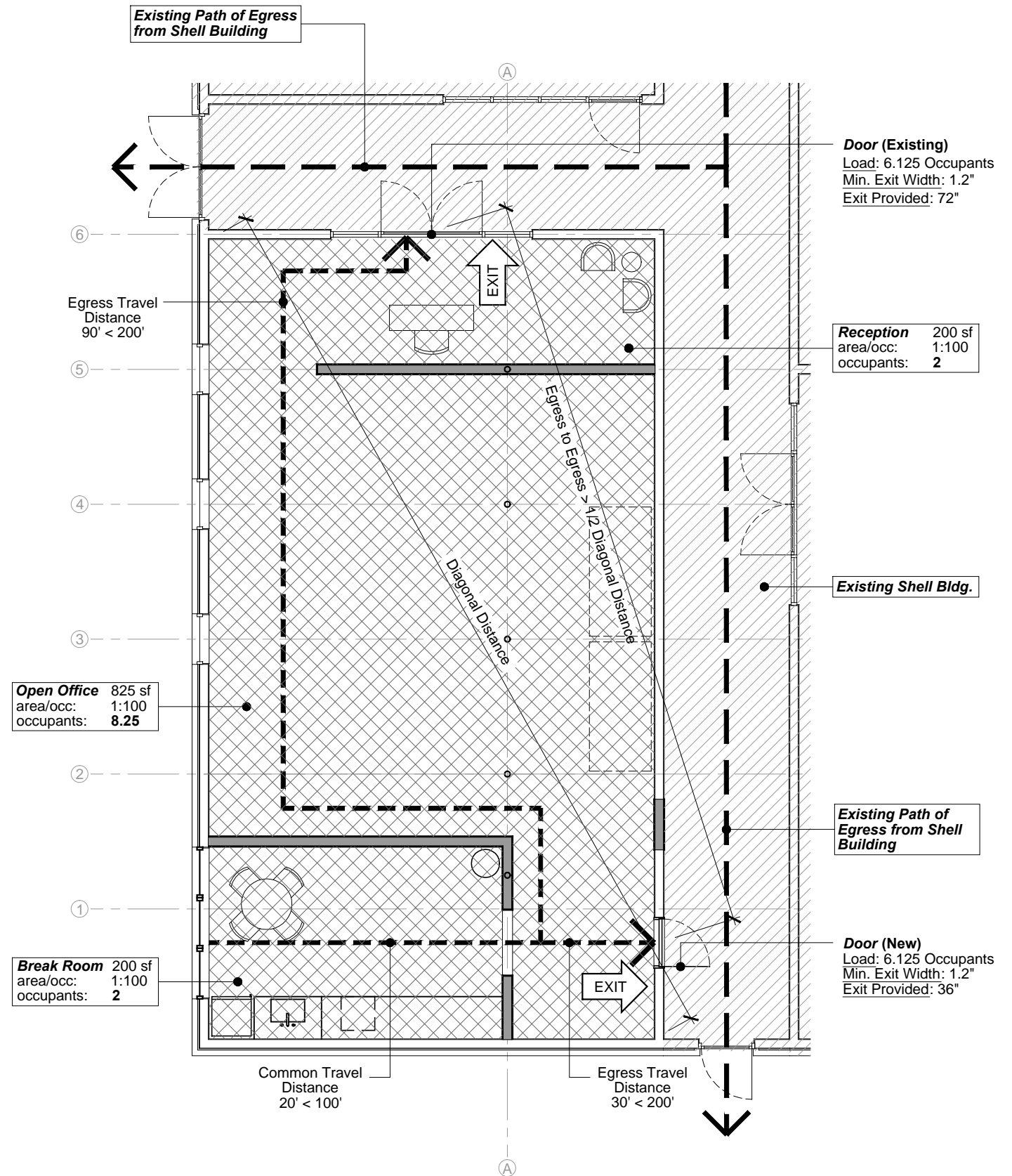


**1 Key Plan**  
Scale: xxx

Seal

Project

Sheet  
Site Plan  
**A0.1**

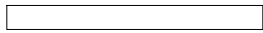



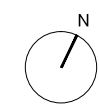
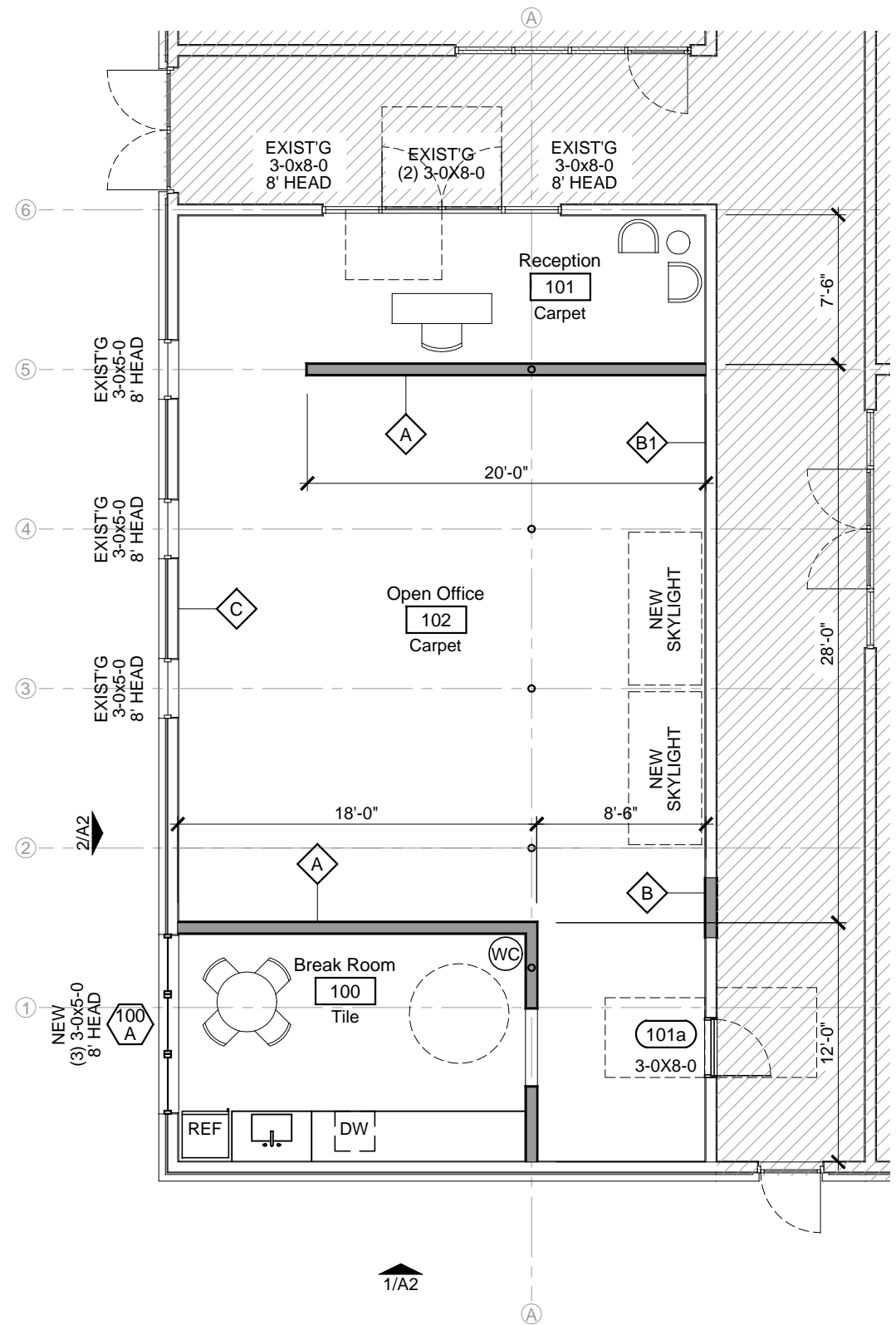
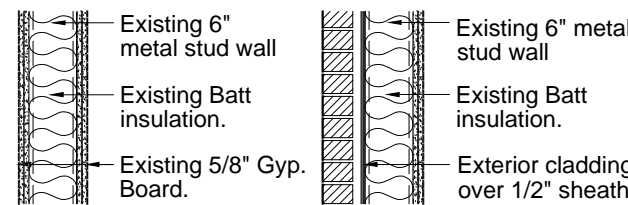
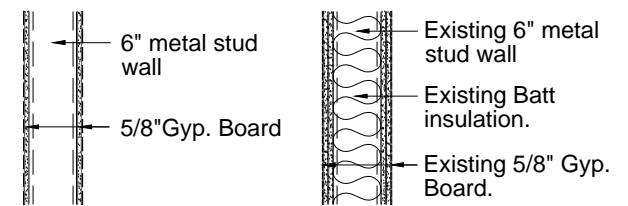
Legend			
	<b>Office</b> Occupant Load Factor 1 person per 200 square feet		
	<b>Circulation (Existing Shell, NIC)</b> Occupant Load Factor No Occupant Load		
Legend			
Use	SF	Ratio	Occupants
Open Office	825	1:100	8.25
Break Room	200	1:100	2
Reception	200	1:100	2
<b>Total Occupants</b>			<b>12.25</b>



# 1 Occupancy and Exiting Diagrams

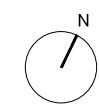
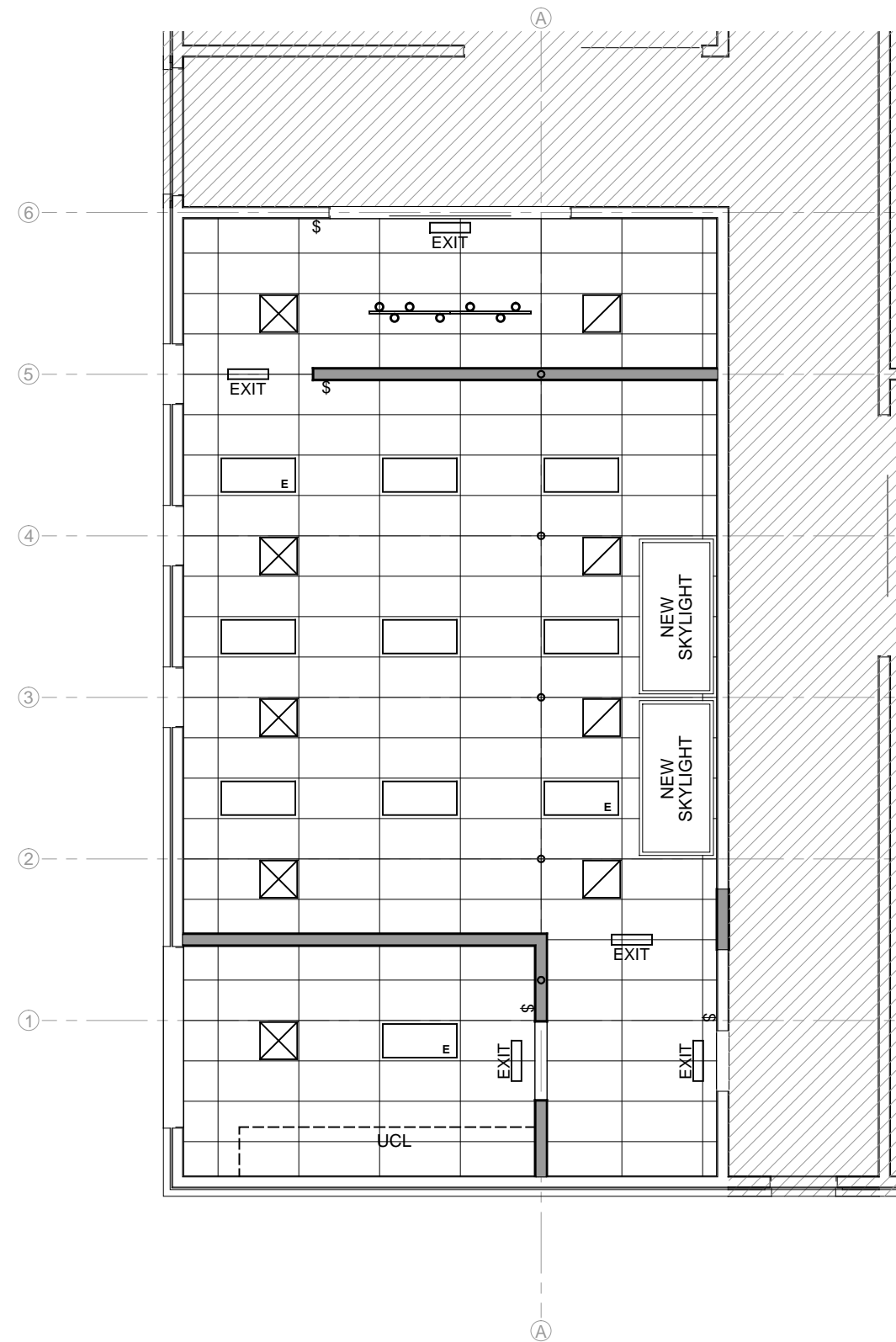
Scale: xxx

Legend	
	Existing Wall
	New Wall
Wall Types	



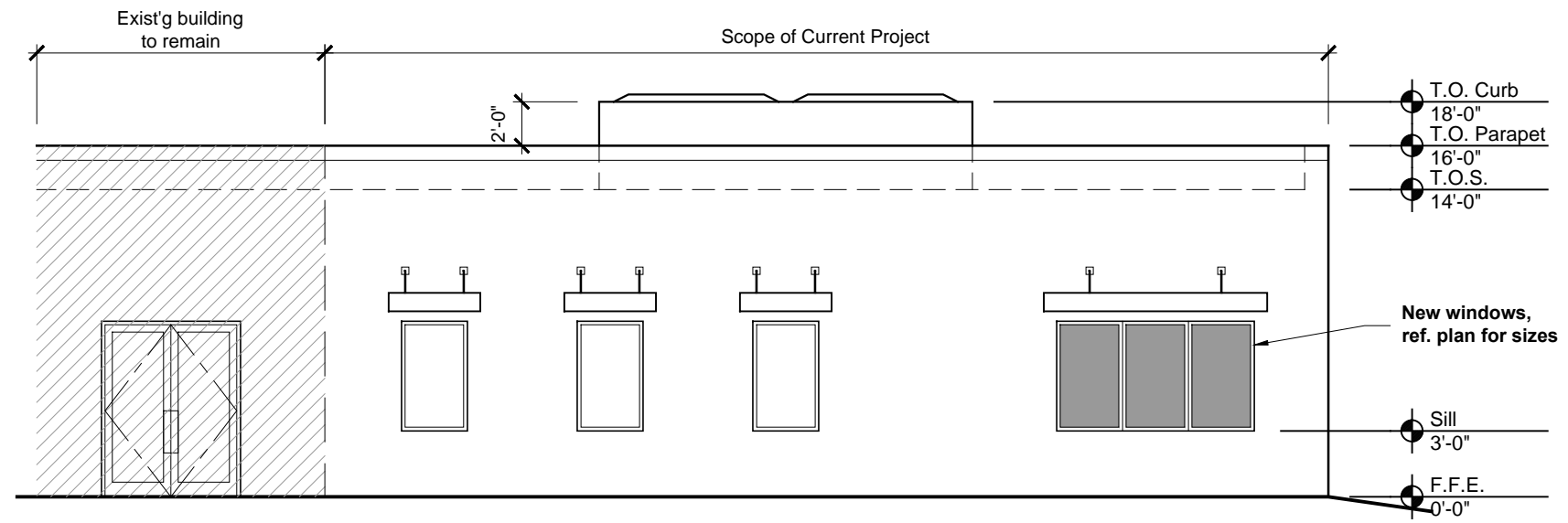
**1 Floor Plan**  
Scale: xxx

Legend	
	Return Air
	Supply Air
	Exit Sign
	2x4 Fluorescent Lights
	2x4 Emergency Fluorescent Lights
	Track Light
	Under Cabinet Lighting
	Switch / Occupancy Sensor

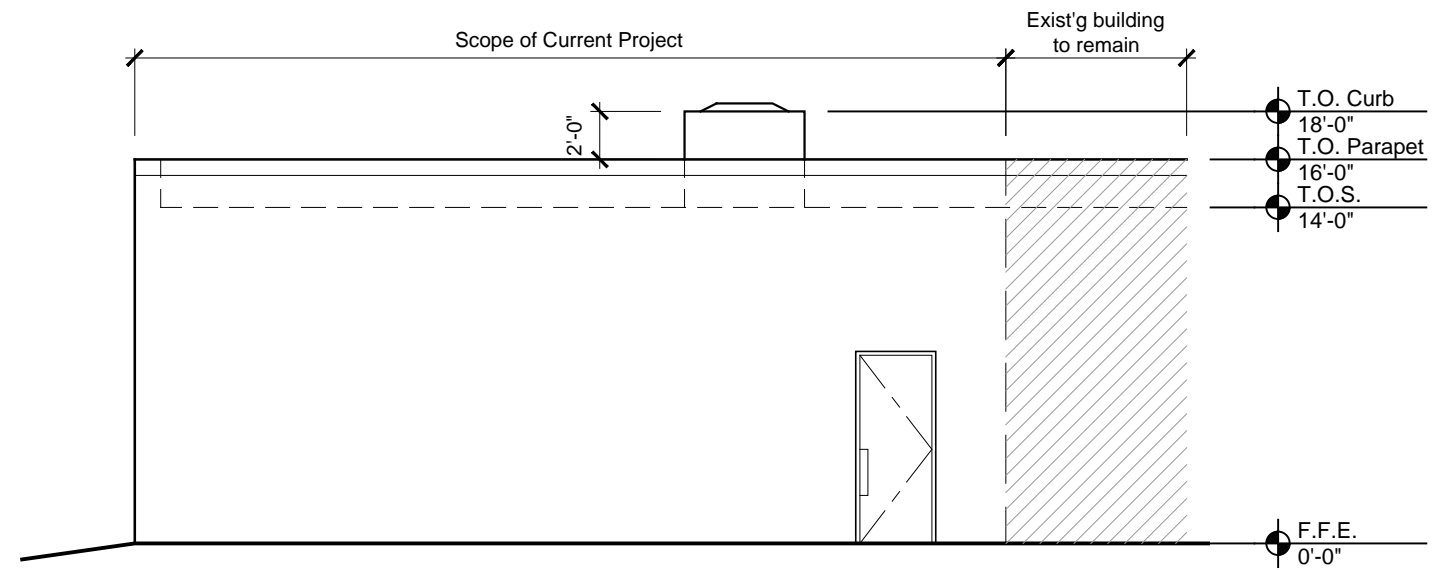


**1 RCP**  
Scale: 1/8"=1'-0"





**2 Exterior Elevation**  
Scale: 1/8" = 1'-0"



**1 Exterior Elevation**  
Scale: 1/8" = 1'-0"

Seal

Project

Sheet

Exterior Elevations

**A2.0**